



13

STATE OF FLORIDA  
COUNTY OF PALM BEACH  
THIS PLAT WAS FILED FOR  
RECORD 9:58 AM January  
THIS 5 DAY OF  
AD. 2000 AND DULY RECORDED  
IN PLAT BOOK 81 ON PAGES  
13 AND 14  
DOROTHY H. WILKES, CLERK  
BY: [Signature]

# VILLAS OF PALM SPRINGS

LYING IN SECTION 13, TOWNSHIP 44 SOUTH, RANGE 42 EAST  
VILLAGE OF PALM SPRINGS  
PALM BEACH COUNTY, FLORIDA

MAY 1999 SHEET 1 OF 2

## DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT CENTURY/BDV, LIMITED, A FLORIDA LIMITED PARTNERSHIP, OWNER OF THE LAND SHOWN HEREON, BEING IN SECTION 13, TOWNSHIP 44 SOUTH, RANGE 42 EAST, PALM BEACH COUNTY, FLORIDA, SHOWN HEREON AS "VILLAS OF PALM SPRINGS", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND LYING AND BEING CONTAINED IN SECTION 13, TOWNSHIP 44 SOUTH, RANGE 42 EAST, BEING ADJACENT TO THE PLAT OF THE WOODSLAND OF PALM SPRINGS, RECORDED IN PLAT BOOK 35, PAGES 57, 58 AND 59, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 13; THENCE NORTH 88°19'16" WEST, ALONG THE NORTH LINE OF SECTION 13, A DISTANCE OF 415.0 FEET; THENCE SOUTH 02°09'46" WEST, A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING (P.O.B.); THENCE CONTINUE SOUTH 02°09'46" WEST, ALONG THE EAST LINE OF SAID PLAT OF THE WOODLANDS OF PALM SPRINGS, A DISTANCE OF 637.31 FEET; THENCE SOUTH 88°13'09" EAST, A DISTANCE OF 375.0 FEET; THENCE NORTH 02°09'46" EAST, ALONG THE WEST RIGHT-OF-WAY LINE OF KIRK ROAD, A DISTANCE OF 515.50 FEET TO THE POINT OF CURVATURE (P.C.) OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A CENTRAL ANGLE OF 01°14'00" AND A RADIUS OF 5689.65 FEET; THENCE NORTHERLY AND WESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 122.47 FEET TO THE POINT OF TANGENCY (P.T.); THENCE NORTH 88°19'16" WEST, ALONG THE SOUTH RIGHT-OF-WAY LINE OF LAKE WORTH DRAINAGE DISTRICT LATERAL NO. 8, A DISTANCE OF 373.69 FEET TO THE POINT OF BEGINNING (P.O.B.).

LESS AND EXCEPT THE RIGHT-OF-WAY FOR WOODLAND ROAD.

LESS AND EXCEPT THE NORTH 0.26 FEET THEREOF.

AND LESS AND EXCEPT PARCEL 171 TAKING PARCEL THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 44 SOUTH, RANGE 42 EAST IN PALM BEACH COUNTY, FLORIDA DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 13; THENCE SOUTH 01°44'40" WEST ALONG THE EAST LINE OF SAID SECTION 13 A DISTANCE OF 40.00 FEET TO THE EASTERLY PROLONGATION OF THE NORTH LINE OF THE LAND DESCRIBED IN THE DEED RECORDED IN THE OFFICIAL RECORD BOOK 2884, PAGE 1214, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING ON A LINE PARALLEL WITH AND SOUTHERLY 40.00 FEET FROM THE NORTH LINE OF SAID SECTION 13; THENCE NORTH 88°43'42" WEST ALONG SAID PROLONGATION A DISTANCE OF 40.00 FEET TO A POINT ON THE WEST LINE OF KIRK ROAD, SAID POINT BEING ON A LINE PARALLEL WITH AND WESTERLY 40.00 FEET FROM THE EAST LINE OF SAID SECTION 13 AND THE POINT OF BEGINNING; THENCE CONTINUE NORTH 88°43'42" WEST ALONG THE NORTH LINE OF SAID DEED A DISTANCE OF 26.69 FEET TO THE POINT OF CUSP WITH A TANGENT CURVE CONCAVE SOUTH-WESTERLY HAVING A RADIUS OF 25.00 FEET; THENCE EASTERLY AND SOUTHERLY A DISTANCE OF 38.98 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 89°20'21" TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 7599.44 FEET; THE RADIAL OF SAID CURVE BEARS SOUTH 89°23'21" EAST; THENCE SOUTHERLY A DISTANCE OF 150.36 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 01°08'01" TO ITS POINT OF TANGENCY WITH SAID WEST LINE OF KIRK ROAD; THENCE NORTH ALONG SAID WEST LINE A DISTANCE OF 175.06 FEET TO THE POINT OF BEGINNING.

HAVE CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DO HEREBY DEDICATE AS FOLLOWS:

- THE SIDEWALK EASEMENTS, AS SHOWN HEREON, ARE HEREBY DEDICATED TO THE VILLAS OF PALM SPRINGS HOMEOWNERS ASSOCIATION, INC. FOR PEDESTRIAN TRAFFIC.
- TRACTS A AND B, AS SHOWN HEREON, ARE HEREBY DEDICATED TO THE VILLAS OF PALM SPRINGS HOMEOWNERS ASSOCIATION, INC. THEIR SUCCESSORS AND ASSIGNS AND ARE THE PERPETUAL MAINTENANCE OBLIGATION SAID ASSOCIATION, WITHOUT RECOURSE TO THE VILLAGE OF PALM SPRINGS.
- THE LANDSCAPE BUFFER EASEMENTS, AS SHOWN HEREON, ARE HEREBY DEDICATED TO THE VILLAS OF PALM SPRINGS HOMEOWNERS ASSOCIATION, INC. THEIR SUCCESSORS AND ASSIGNS, FOR BUFFER, LANDSCAPING AND WALL PURPOSES AND ARE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION, WITHOUT RECOURSE TO THE VILLAGE OF PALM SPRINGS.
- THE LIMITED ACCESS EASEMENTS, AS SHOWN HEREON, ARE HEREBY DEDICATED TO THE VILLAGE OF PALM SPRINGS, FLORIDA, IN PERPETUITY FOR THE PURPOSE OF CONTROL AND JURISDICTION OVER ACCESS RIGHTS.
- AN EASEMENT OVER AND ACROSS ALL OF TRACTS A AND B IS GRANTED IN PERPETUITY FOR THE CONSTRUCTION AND MAINTENANCE OF UTILITY FACILITIES, INCLUDING CABLE TELEVISION SYSTEMS. THE INSTALLATION OF CABLE TELEVISION SYSTEMS SHALL NOT INTERFERE WITH THE CONSTRUCTION AND MAINTENANCE OF OTHER UTILITIES.

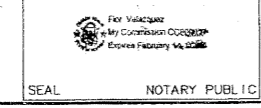
IN WITNESS WHEREOF, THE ABOVE-NAMED LIMITED PARTNERSHIP HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS GENERAL PARTNER, THIS 11 DAY OF December

WITNESS: [Signature] BY: [Signature]  
CENTURY/BDV, LIMITED  
LIMITED PARTNERSHIP  
HUMBERTO DEVALLE,  
AS GENERAL PARTNER

## ACKNOWLEDGMENT

STATE OF FLORIDA )  
COUNTY OF PALM BEACH )  
BEFORE ME PERSONALLY APPEARED Humberto De Valle WHO IS PERSONALLY KNOWN TO ME, OR HAS PRODUCED AS IDENTIFICATION, AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED BEFORE ME THAT HE EXECUTED SAID INSTRUMENT FOR THE PURPOSES EXPRESSED THEREIN.

WITNESS MY HAND AND OFFICIAL SEAL THIS 11th DAY OF Dec. 1999.  
MY COMMISSION EXPIRES: 2/14/03 DATE Tim Velazquez  
NOTARY PUBLIC



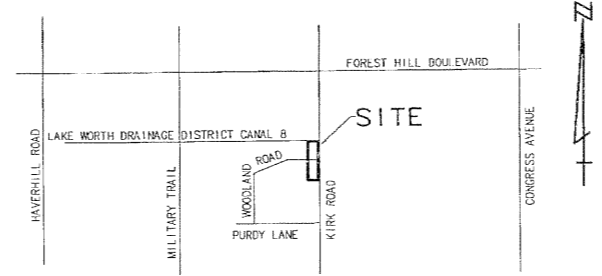
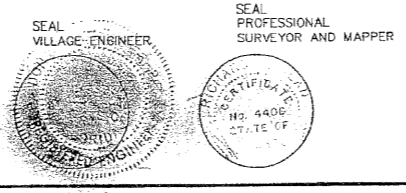
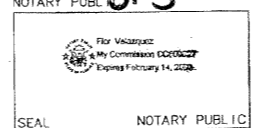
## ACCEPTANCE OF RESERVATIONS

STATE OF FLORIDA )  
COUNTY OF PALM BEACH )  
THE VILLAS OF PALM SPRINGS HOMEOWNERS ASSOCIATION, INC. HEREBY ACCEPTS THE DEDICATIONS OR RESERVATIONS TO SAID CORPORATION AS STATED AND SHOWN HEREON, AND HEREBY ACCEPTS ITS MAINTENANCE OBLIGATIONS FOR SAME AS STATED HEREON.  
DATED THIS 17th DAY OF Dec. 1999.

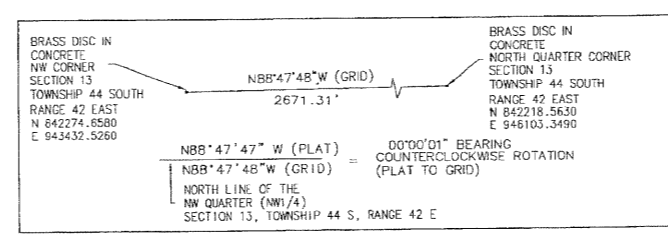
VILLAS OF PALM SPRINGS HOMEOWNERS ASSOCIATION, INC.  
A FLORIDA CORPORATION  
WITNESS: [Signature] BY: [Signature]  
HUMBERTO DEVALLE,  
PRESIDENT

## ACKNOWLEDGMENT

STATE OF FLORIDA )  
COUNTY OF PALM BEACH )  
BEFORE ME PERSONALLY APPEARED Humberto De Valle WHO IS PERSONALLY KNOWN TO ME, OR HAS PRODUCED AS IDENTIFICATION, AND WHO EXECUTED THE FOREGOING INSTRUMENT AS President OF VILLAS OF PALM SPRINGS HOMEOWNERS ASSOCIATION, INC., A FLORIDA CORPORATION, AND SEVERALLY ACKNOWLEDGED TO AND BEFORE ME THAT HE EXECUTED SUCH INSTRUMENT AS SUCH OFFICER OF SAID CORPORATION, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION AND THAT IT WAS AFFIXED TO SAID INSTRUMENT BY DUE AND REGULAR CORPORATE AUTHORITY, AND THAT SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID CORPORATION.  
WITNESS MY HAND AND OFFICIAL SEAL THIS 11th DAY OF Dec. 1999.  
MY COMMISSION EXPIRES: 2/14/03 DATE Tim Velazquez  
NOTARY PUBLIC



LOCATION MAP (NOT TO SCALE)



## MORTGAGEE'S CONSENT

THE UNDERSIGNED HEREBY CERTIFIES THAT IT IS THE HOLDER OF A MORTGAGE UPON THE PROPERTY DESCRIBED HEREON AND DOES HEREBY JOIN IN AND CONSENT TO THE DEDICATION OF THE LAND DESCRIBED IN SAID DEDICATION BY THE OWNER THEREOF AND AGREES THAT HIS MORTGAGE WHICH IS RECORDED IN OFFICIAL RECORD BOOK        AT PAGE        OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SHALL BE SUBORDINATED TO THE DEDICATION SHOWN HEREON.

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS Secretary AND ITS CORPORATE SEAL TO BE AFFIXED HEREON BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS THIS 20 DAY OF December, 1999.

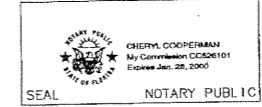
WITNESS: [Signature] BY: [Signature]  
VICE-PRESIDENT

WITNESS: [Signature]

## ACKNOWLEDGMENT

STATE OF FLORIDA )  
COUNTY OF PALM BEACH )  
BEFORE ME PERSONALLY APPEARED Donald E. Schler WHO IS PERSONALLY KNOWN TO ME, OR HAS PRODUCED AS IDENTIFICATION, AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED BEFORE ME THAT HE EXECUTED SAID INSTRUMENT FOR THE PURPOSES EXPRESSED THEREIN.

WITNESS MY HAND AND OFFICIAL SEAL THIS 21 DAY OF Dec. 1999.  
MY COMMISSION EXPIRES: 1/20/00 DATE Cheryl Cooperman  
NOTARY PUBLIC



## AREA TABULATION

TRACT A	1.556 ACRES
TRACT B	1.617 ACRES
LOTS	1.862 ACRES
TOTAL	5.035 ACRES

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SCALE: 1" = 30'  
JOB NO.: 99-237  
DATE: MARCH 1999  
DRAWING NO.:

DEAN SURVEYING AND MAPPING, INC.  
THE MEASURING LINE SHALL GO FORTH - JER. 31-39  
P.O. BOX 10642  
RIVIERA BEACH, FL 33419  
(561) 625-8748  
5114 OKEECHOBEE BOULEVARD SUITE 102  
WEST PALM BEACH, FL 33417

VILLAS OF PALM SPRINGS  
SECTION 13, TOWNSHIP 44 SOUTH, RANGE 42 EAST  
VILLAGE OF PALM SPRINGS  
PALM BEACH COUNTY, FLORIDA

## TITLE CERTIFICATION

STATE OF FLORIDA )  
COUNTY OF Dade )  
I, CHARLES H. GELMAN, A DULY LICENSED ATTORNEY IN THE STATE OF FLORIDA HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE HEREON DESCRIBED PROPERTY; THAT I FIND THE RECORD TITLE TO THE PROPERTY IS VESTED TO CENTURY/BDV, LIMITED, A FLORIDA LIMITED PARTNERSHIP; THAT THE CURRENT TAXES HAVE BEEN PAID; THAT ALL MORTGAGES NOT SATISFIED OR RELEASED OF RECORD NOR OTHERWISE TERMINATED BY LAW ARE SHOWN HEREON; AND THAT THERE ARE ENCUMBRANCES OF RECORD BUT THOSE ENCUMBRANCES DO NOT PROHIBIT THE CREATION OF THE SUBDIVISION DEPICTED BY THIS PLAT.

DATE: 12/20/99 BY: [Signature]  
CHARLES H. GELMAN, P.A.

## SURVEYOR'S NOTES

- ALL BEARINGS SHOWN HEREON ARE BASED ON THE EAST LINE OF SECTION 13, TOWNSHIP 44 SOUTH, RANGE 42 EAST HAVING A BEARING OF NORTH 01°44'40" EAST.
- THE COORDINATES SHOWN HEREON ARE STATE PLANE GRID COORDINATES ACCORDING TO THE TRANSVERSE MERCATOR PROJECTION OF THE FLORIDA EAST ZONE, N.A.D. 83, PER THE 1990 ADJUSTMENT, BASED ON THE GEODETIC CONTROL ESTABLISHED AND ACCEPTED BY THE PALM BEACH COUNTY SURVEY DEPARTMENT. THE LINEAR DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN U.S. FEET AND DECIMAL PARTS THEREOF. THE GROUND DISTANCE TO GRID DISTANCE SCALE FACTOR IS 1.000039342 (GROUND DISTANCE X SCALE FACTOR = GRID DISTANCE).
- NO BUILDINGS OR ANY KIND OF CONSTRUCTION OR TREES OR SHRUBS SHALL BE PLACED ON ANY EASEMENT WITHOUT PRIOR WRITTEN APPROVAL OF ALL EASEMENT BENEFICIARIES AND ALL APPLICABLE VILLAGE APPROVALS OR PERMITS AS REQUIRED FOR SUCH IMPROVEMENTS.
- IN THOSE CASES WHERE EASEMENTS OF DIFFERENT TYPES CROSS, DRAINAGE EASEMENTS SHALL HAVE FIRST PRIORITY, UTILITY EASEMENTS SHALL HAVE SECOND PRIORITY, ACCESS EASEMENTS SHALL HAVE THIRD PRIORITY AND ALL OTHER EASEMENTS SHALL BE SUBORDINATE TO THESE WITH THEIR PRIORITIES BEING DETERMINED BY THE USE RIGHTS GRANTED. THERE SHALL BE NO LANDSCAPE OR ABOVE GROUND ENCROACHMENTS WHERE LANDSCAPE TRACTS OR EASEMENTS COINCIDE WITH MAINTENANCE EASEMENTS OR LAKE MAINTENANCE ACCESS EASEMENTS.
- THE BUILDING SETBACK LINE SHALL BE AS REQUIRED BY CURRENT VILLAGE OF PALM SPRINGS ZONING REGULATIONS.
- NOTICE: THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

## SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT PERMANENT REFERENCE MONUMENTS (P.R.M.'S) HAVE BEEN PLACED AS REQUIRED BY LAW AND THAT MONUMENTS ACCORDING TO SEC. 177.091(9), F.S. WILL BE SET UNDER THE GUARANTEES POSTED WITH THE VILLAGE OF PALM SPRINGS FOR THE REQUIRED IMPROVEMENTS; AND FURTHER THAT THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND THE ORDINANCES OF THE VILLAGE OF PALM SPRINGS.

THIS 15th DAY OF December 1999  
RICHARD N. DEAN  
PROFESSIONAL SURVEYOR & MAPPER  
FLORIDA CERTIFICATE NO. 4406

## VILLAGE OF PALM SPRINGS APPROVALS

VILLAGE OF PALM SPRINGS  
COUNTY OF PALM BEACH  
VILLAGE ENGINEER:  
THIS PLAT IS HEREBY APPROVED FOR RECORD IN ACCORDANCE WITH SECTION 177.071 (2), F.S. THIS 16th DAY OF December, 1999,  
AND HAS BEEN REVIEWED BY A PROFESSIONAL LAND SURVEYOR AND MAPPER UNDER CONTRACT TO THE VILLAGE OF PALM SPRINGS IN ACCORDANCE WITH SECTION 177.061 (1) FLORIDA STATUTES.

WITNESS: [Signature] VILLAGE ENGINEER  
WITNESS: [Signature] VILLAGE MAYOR  
WITNESS: [Signature] VILLAGE CLERK  
ATTEST BY: [Signature] VILLAGE CLERK

THIS INSTRUMENT WAS PREPARED BY RICHARD N. DEAN, P.S.M. IN THE OFFICES OF DEAN SURVEYING AND MAPPING, INC. 5114 OKEECHOBEE BOULEVARD SUITE 102, WEST PALM BEACH, FL 33417

SHEET 1 OF 2